

Mercer Inspection Services

**5750 Clearwater Drive
Sacramento, CA 95841
Inspector: Chris Mercer**



Property Inspection Report

Client(s): XXXXXXXXXXXXX
Property address: XXXXXXXXXXXXX
Inspection date: XXXXXXXXXXXXX

This report published on Tuesday, June 19, 2012 11:39:27 AM PDT

I have made every effort to provide you with a thorough, high quality inspection, and hope that the information in this report proves to be valuable in your consideration of this property. If for any reason you are unsatisfied with this report, or have questions after reviewing it, please don't hesitate to call me.

This inspection complies with the International Association of Certified Home Inspectors (InterNachi) Standards of Practice (see, <http://www.nachi.org/sop.htm>). This report is primarily intended to identify major defects within a structure that significantly affect its habitability or that will be costly to repair; however, minor defects and those which might affect the client's day-to-day life in the house may be noted in this report. Cosmetic items such as minor damage to molding, trim, doors, cabinets, interior paint or carpet are generally excluded from this report.

Home inspection reports by nature focus on defects and may seem negative in tone. Some features of this property may be in excellent condition and of high quality but have not been mentioned, or been deemed adequate in the report. This is not meant to downplay this property's assets, but to focus on alerting you to potentially expensive problems. Bear in mind that all homes, regardless of their age, have some number of defects.

Areas of the property that are excluded due to lack of access are vulnerable to infestation

and damage from wood destroying insects and organism, which may also health risks.

I pledge to give you a complete and unbiased inspection of the property you are considering buying or selling that will exceed all standards.

Chris Mercer

How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

	Safety	Poses a risk of injury or death
	Major Defect	Correction likely involves a significant expense
	Repair/Replace	Recommend repairing or replacing
	Repair/Maintain	Recommend repair and/or maintenance
	Minor Defect	Correction likely involves only a minor expense
	Maintain	Recommend ongoing maintenance
	Evaluate	Recommend evaluation by a specialist
	Monitor	Recommend monitoring in the future
	Comment	For your information

[Click here](#) for a glossary of building construction terms.

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Exterior

Footing material: Poured in place concrete

Foundation material: Post and pier

Apparent wall structure: Wood frame

Wall covering: Hard Coat Stucco

Driveway material: Poured in place concrete

Sidewalk material: N/A

Exterior door material: Solid core wood

Spa: Neptune Series, Dynasty Spa.

1)    Extension cords are being used as permanent wiring in the outdoor kitchen, the base of the stairs going to the pool, and in one location at the base of the NW corner wall (back side of the house). This wire comes out of the crawl space vent and enters the dirt. The insulation on this wiring is partially melted and should be removed as soon as possible.

All other extension cords should be removed as necessary, or a qualified electrician should evaluate and make repairs as necessary. For example, install additional circuits and/or electric receptacles.



Photo 13
Adjacent spa, spliced wiring.



Photo 16
Outside entertainment area, improper electrical line.



Photo 17
Outside entertainment area, under grill,
improper electrical line.



Photo 18
Rear step to pool, improper electrical

2)    Flexible lamp or appliance cord are being used as permanent wiring in the outdoor kitchen, the base of the stairs going to the pool, and in one location at the base of the NW corner wall (back side of the house). This wire comes out of the crawl space vent and enters the dirt. The insulation on this wiring is partially melted and should be removed as soon as possible.

All other lamp/appliance cords should be removed as necessary, or a qualified electrician should evaluate and make repairs as necessary. For example, install additional circuits and/or electric receptacles being used for permanent wiring in one or more areas. This wiring is not intended to be used as permanent wiring, and poses a safety hazard of shock and fire. A qualified electrician should evaluate and make repairs as necessary.

**Note: the photos are a representative sample of the appliance cords and there are others in the area shown in the photos.



Photo 13
Adjacent spa, spliced wiring.



Photo 16
Outside entertainment area, improper electrical line.



Photo 17
Outside entertainment area, under grill, improper electrical line.



Photo 18
Rear step to pool, improper electrical

3) 🚧🔧 Irrigation, Sprinkler System:

The Irrigation/sprinkler system is only partially operable.

1) There appears to be problems with the electrical relay system and evidenced by the tampering of the below ground junction box (see photo).

2) A timer controller located on the SE corner of the interior of the garage is detached from its mounting and one of the power lines is detached.

Almost the entirety of the outside system needs maintenance and by a qualified landscape contractor.



Photo 9
Garage door, east front, detached watering timer.



Photo 31
SE exterior corner of house.

4)     Swimming Pool:

- 1) The pool pump is operational, but the water flow is flowing only marginally.
- 2) The outtake, line a few inches from the pump, is leaking (see photo).
- 3) Under the above conditions, the pools heater was not able to be tested.

This should be evaluated by a pool specialist. I have not flagged this as a major defect; however, because it cannot be fully tested, there could be very expensive to correct issues.



Photo 19
Leaking pool plumbing-near pump.

5) 🛠️👉 Yard:

The front and side yards and these area associated vegetation has been severely neglected. There are many dead or near dead shrubs and the lawn needs to be replanted.

A qualified landscape contractor should be consulted as to the best course of action to take.

6) 🛠️🔍📄 Spa: Dynasty Spa--Neptune Series--Poseidon

- 1) The spas pump is operational and the water jets functioned adequately.
- 2) The spas heater was not operational.
- 3) 40% of the lighting was functional. This is probably due to burned out bulbs as lighting fixtures had mixtures of working and not working bulbs.
- 4) The sound system (radio/cd/amplifier) has been removed.
- 5) Back rests (near upper rim on each seat) have been removed or broken off from most of the seats.

This should be evaluated by a pool or spa specialist. I have not flagged this as a major defect; however, because the heater is not functioning, this could be a moderately expensive repair.



Photo 14

Spa, poor repair, missing seatback, south side. Most of the seat backs are missing and need to be replaced

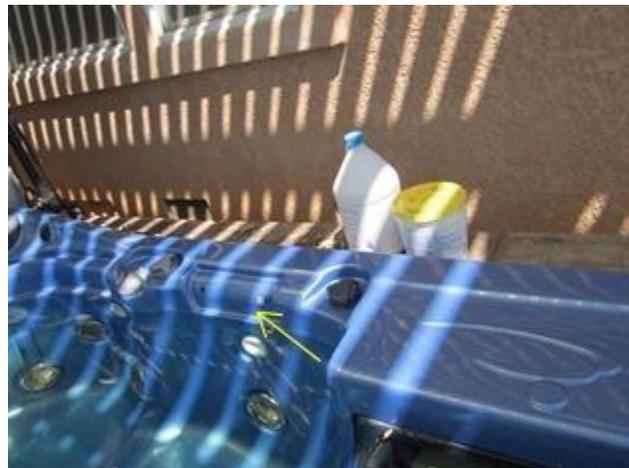


Photo 15

Spa, missing part, north side

7) 🛠️🔍📄 Waterfall:

The waterfall pump was not operational.

This should be evaluated by a pool specialist. Waterfall pumps are not complicated, but the integrity of the holding pool and stone can only be evaluated when the water pump is operational. Note that this has the potential to be major defect.

8) 🛠️👉 Trees and shrubs in contact with house:

There are numerous trees and shrubs in contact with the external walls of the house. These should be trimmed back to at least one foot of all exterior walls.

Vegetation in contact with building services greatly increases the risk of the intrusion of wood destroying insects.

9) 🛠️ The oak tree on the NW corner of the house (rear of house) has covered a significant portion of the roof. The largest problem with this is that it will allow wood destroying insects a means to access the house. Additionally, oak branches can make a significant amount of noise as they brush against the house when it is windy. Vegetation should be pruned back and/or removed as necessary.



Photo 23

N.E section of roof, oak tree should be cut back.

Roof

Roof inspection method: Viewed from windows viewed from balcony

Roof type: Cross gable

Roof covering: Concrete tile

Estimated age of roof: 10 years

Gutter & downspout material: Built-in

Roof ventilation: Adequate

10) 🛠️ Debris has accumulated in one or more gutters. This is conducive for wood destroying insects since gutters may overflow and cause water to come in contact with the structure's exterior or make water accumulate around the foundation. Gutters should be cleaned now and as necessary in the future.

11) 🛠️ Debris such as leaves, needles, seeds, etc. have accumulated in a few of the roof valleys. Since water may not flow easily off the roof, and may enter gaps in the roof surface. Leaks may occur as a result. Debris should be cleaned from the roof now and as necessary in the future.



Photo 22
Roof valley and gutter cleaning needed,

Garage

12)    The ceiling surfaces between the attached garage and interior living spaces has missing or inadequate surface materials. A 12" by 12" section of ceiling drywall has been removed. This is in the center of the garage. These surfaces are intended to prevent vehicle fumes from entering living spaces, and to slow the spread of fire from the garage to living spaces. A qualified contractor should evaluate and make repairs as necessary so the attached garage wall and ceiling surfaces that adjoin living spaces are tightly sealed and fire rated as per standard building practices. Typically these surfaces require a one-hour fire rating.



Photo 8
Garage ceiling center, opening.

13)    On the back wall of the garage, wiring in two locations is loose, unsupported, or inadequately supported, and wire ends are exposed (no terminated with protective caps (see photo).

A qualified, licensed electrician should evaluate and repair as necessary.

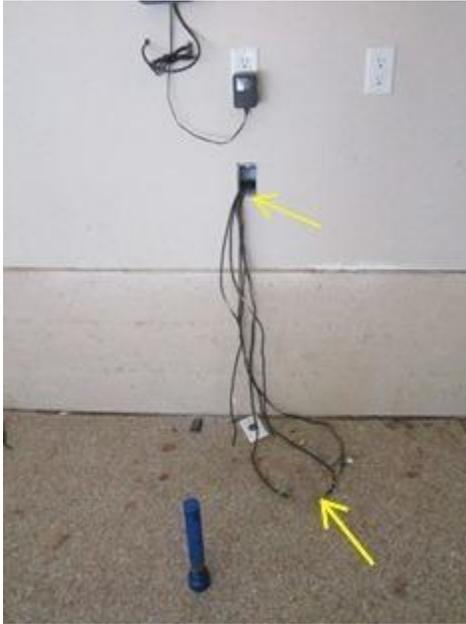


Photo 10
Garage rear, loose wiring 2.



Photo 7
Rear garage, loose electrical

14) 🛠️🔧 Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

15) 🔧🔍 The east side vehicle door opener is inoperable. The unit is not plugged in and is assumed to be nonfunctional. The door is able to be raised and lowered in manual mode. A qualified contractor should evaluate and make repairs as necessary.

Attic

Inspection method: Partially traversed

Roof structure type: Rafters

Ceiling structure: Not visible

Insulation material: Mineral wool loose fill

Insulation depth: 9" to 12"

Insulation estimated R value: 30

16) ⓘ Insulation;

Rock wool (see photo). R-30



Photo 24
Attic Insulation.

Electric service

Primary service type: Underground

Primary service overload protection type: Circuit breakers

Service amperage (amps): 400 amp; Square D dual 200 amp main breakers.

Service voltage (volts): 120/240

Location of main service switch: South, exterior side of house, just behind the front fence.

Location of sub panels: Subpanel located in laundry room, east wall.

Location of main disconnect: Breaker at top of main service panel. Dual 200 amp main breakers.

Service entrance conductor material: Aluminum, Copper (1 copper, 1 aluminum entrance cable)

System ground: Ground rod(s) in soil

Main disconnect rating (amps): 200 amp dual disconnect (400 amp total rating)

Branch circuit wiring type: Copper

Solid strand aluminum branch circuit wiring present: No

Smoke detectors present: Yes

17)  The legend for overcurrent protection devices (breakers) in the main service panel is missing, unreadable or incomplete. Recommend installing, updating or correcting the legend as necessary so it's accurate. Evaluation by a qualified electrician may be necessary.

18)  NOTE:

Electrical issues other than those concerning the main and subpanel are discussed in either the exterior, interior, garage, or attic sections if applicable.

19)  Main service panel:

General photos (see below).

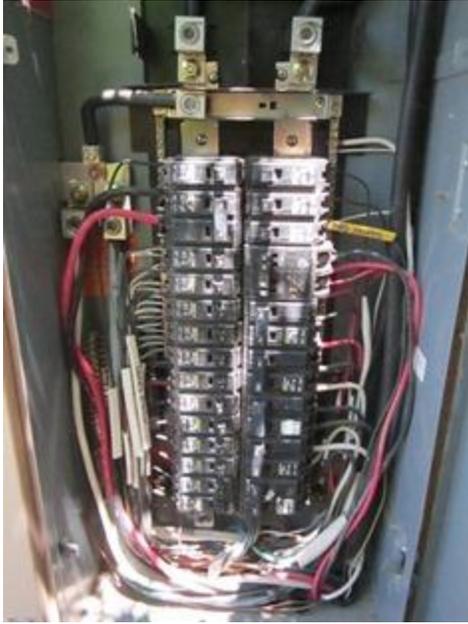


Photo 26
A clean service panel with no issues.



Photo 27
Copper and Aluminum Service Line. Arrow points to aluminum service line (left side facing).



Photo 29
No missing knockouts and properly grounded.

20)  Subpanel:

General photo (see below).



Photo 28

Interior Subpanel, laundry room. Branch circuits are properly labeled and box is clean.

Water heater

Estimated age: Dual heaters: A.O, Smith:11 years, State Select: 4 years

Type: Tank

Energy source: Natural gas

Capacity (in gallons): 80Combined for both heaters

Manufacturer: A.O Smith and State Select

Model: A.O Smith, FGR 40 248, State Select, GS640YOCTG

Water temperature (degrees Fahrenheit): Not heated

21) 🔧🔍 Corrosion was found on fittings and/or water supply lines for the water heater. The copper pipe was moist in some places, a leaks may exist. A qualified plumbing contractor should evaluate and repair as necessary.



Photo 6
Water heater water supply line.

22)  The water heater was turned off at the time of the inspection. Gas supply turned off or. The inspector was unable to fully evaluate the water heater.

Heating and cooling

Estimated age: 11 years

Primary heating system energy source: Natural gas

Primary heat system type: Forced air, Medium efficiency

Primary A/C energy source: Electric

Primary Air conditioning type: Split system

Distribution system: Flexible ducts

Manufacturer: Rheem: multiple heater/cooling system

Model: Criterion II

Filter location: In return air duct below furnace

Last service date: Not tagged

23)  The estimated useful life for air conditioning compressors is 8 to 15 years. This unit appears to be approaching this age and may need replacing at any time. Recommend budgeting for a replacement in the near future.

24)  The last service date of this system appears to be more than two years ago, or the inspector was unable to determine the last service date. The client(s) should ask the property owner(s) when it was last serviced. If unable to determine the last service date, or if this system was serviced more than two years ago, a qualified heating and cooling contractor should inspect, clean, and service this system, and make repairs if necessary. This servicing should be performed every few years in the future, or as per the contractor's recommendations.

25)  Air handler filter(s) should be checked monthly in the future and replaced or washed as necessary.

26)  Heating and cooling system performed adequately.

Plumbing and laundry

Location of main water shut-off valve: South, exterior side of house, at the base of wall.

Location of main fuel shut-off: South, exterior side of house, at the base of wall. just behind fence.

Water service: Public

Service pipe material: Galvanized steel

Supply pipe material: Copper

Vent pipe material: Plastic

Drain pipe material: Not visible

Waste pipe material: Not visible

27)  Neither a clothes washer nor dryer were present. They are excluded from this inspection.

Fireplaces, woodstoves and chimneys

Fireplace type: Metal prefabricated

Chimney type: Metal

28)  The gas supply for one or more gas fireplaces and/or stoves was turned off. As per the Standards of Practice for both the [National Association of Certified Home Inspectors \(NACHI\)](#) and the [American Society of Home Inspectors \(ASHI\)](#) the inspector does not operate gas shut off valves or light pilot lights during inspections. These appliances were not fully evaluated.

Crawl space

Inspection method: Viewed from hatch

Insulation material underneath floor above: Fiberglass roll or batt

Pier or support post material: Concrete

Beam material: Solid wood

Floor structure above: Solid wood joists

Vapor barrier present: Yes

Basement

29)   Wire splices are exposed due to not being properly contained in a covered junction box. This box is on the north wall at the base of the entrance stairs. This is a safety hazard due to the risk of shock and fire. Install a securely mounted cover plate over the open junction box. with cover plates where needed to contain wiring splices.



Photo 11
Garage, east lower level storage, open junction box.

30) 🔧 🔍 🏠 ⓘ Ceiling Stain:

There is a stain in the area of the south side ceiling wall. The moisture content of the stain is 10% which is normal. This indicates that there is not current leaking above the ceiling drywall in this area. The sink plumbing in the laundry room, above the stain, is not currently leaking. The sink could have leaked previously and since been repaired, or water might have been spilled onto the floor above. I recommend that you be cautious about allowing too much water to pool on the laundry room floor and I recommend that the tile in the laundry room be caulked around the edges that meet all walls, sink, and washer and dryer.



Photo 12

Garage, east lower level storage, ceiling stain.

Kitchen

31)  The refrigerator, just left of main kitchen entrance, is not set into the retaining cabinet properly. It appears that an attempt was made to remove the unit, but it became wedged into the trim of the surrounding cabinet. The external face of the cabinet may have to be removed to reposition and secure the refrigerator in place adequately.

Consider having a qualified service technician or contractor make this repair.

32)  Note:

It appears that a garbage compactor was once installed in the kitchen island. This unit has been removed.

Bathrooms

33)  Caulk is deteriorated along the base of the shower in the main first floor bathroom (NE bedroom). It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the floor structure.



Photo 3
Study bathroom, caulking.



Photo 4
Study bathroom, caulking 2.

34)  Tile grout is molding around the base the bathtub spout. This type of black mold can be cleaned with a grout specific cleaning agents, such as K-14. After cleaning, I recommend this area be treated with a grout sealant. There are numerous good products available.



Photo 5
Study bath grout mold

36)  The GFI electric outlets over the counter top in the first floor main bathroom are controlled by the GFI in the first floor study bathroom. While this is allowed by code, I recommend that these outlets be replaced by independently controlled GFI outlets.

Note: If the GFI in the first floor bedroom bathroom trips, it will need to be reset in the first floor study bathroom.

Interior rooms

37)   Batteries in all the smoke alarms should be replaced after taking occupancy, and annually in the future. "Chirping" noises emitted from smoke alarms typically indicate that batteries need replacing. For more information, visit: <http://www.cpsc.gov/cpscpub/pubs/5077.html>

38)  Exposed wiring:

- 1) There are two exposed wires in the entertainment room on the second floor. These need to either be removed or properly terminated and placed in a junction box.
- 2) There is an exposed wired in the first floor study, south wall. This needs to either be removed or properly terminated and placed in a junction box.

Recommend that a qualified electrical contractor make this repair.



Photo 21
Upstairs, entertaining area, north wall, improper electrical.

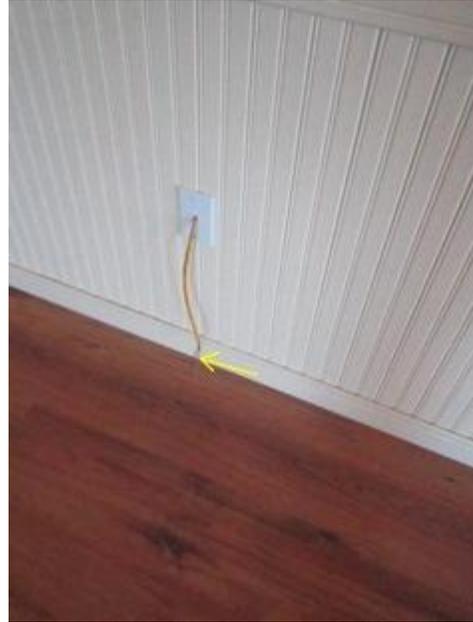


Photo 25
Upstairs, entertaining area, north wall, improper electrical 2.

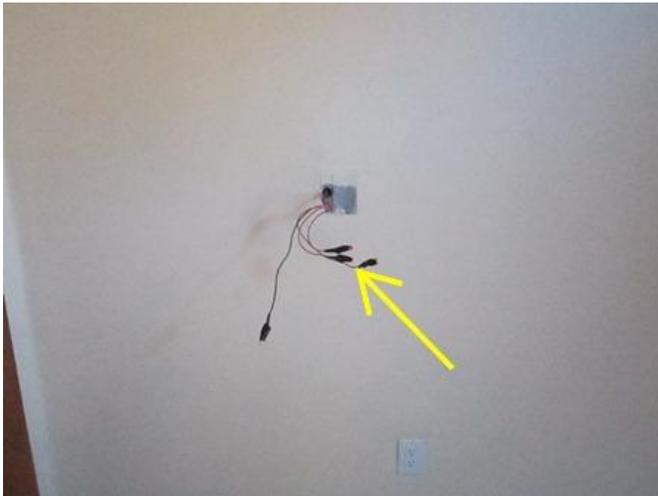


Photo 1
Study, south wall electrical.

39) 🔧🔍 The door(s) leading out to the patio from the kitchen area is difficult to open and close. This could either be an alignment issue and if the door hardware is tightened it may be corrected, or the weather stripping has become worn and needs to be replaced.

40) 🔧 1) An approximately 7' long section of the bookcase is missing from the first floor study (south wall)--the upper ladder guide was also severed, and the ladder is missing.
2) A built in feature (6' to 7') has been removed from the first floor study (east wall).

Recommend having a qualified contractor install these fixtures were missing.



Photo 2
Study, south wall bookcase, trim



Photo 20
Study, east wall, missing trim.

41)  The ceiling fans in the upstairs entertainment room appear to be inoperable. The remotes are present and may need new batteries.

General information

Report number: 1005

Inspector's name: Chris Mercer

Structures inspected: Pool, Waterfall, Spa

Type of building: Single family

Age of building: 11 years

Time started: 10 am

Time finished: 1 pm

Present during inspection: Client(s), Realtor(s)

Occupied: No

Weather conditions: Clear

Temperature: Warm

Ground condition: Dry

Front of structure faces: West

Main entrance faces: West

Foundation type: Crawlspace, Post and pier

The following items are excluded from this inspection: Security system, Shed, Playground equipment

END OF REPORT

If you have any questions about this report please contact Chris Mercer at (916) 588-6619.