

Mercer Inspection Services

**5750 Clearwater Drive
Sacramento, CA 95841
Inspector: Chris Mercer**



Property Inspection Report
Client(s): XXXXXXXXX
Property address: XXXXXXXXXXXXXXXXX
Inspection date: XXXXXXXXX

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I have made every effort to provide you with a thorough, high quality inspection, and hope that the information in this report proves to be valuable in your consideration of this property. If for any reason you are unsatisfied with this report, or have questions after reviewing it, please don't hesitate to call me.

This inspection complies with the International Association of Certified Home Inspectors (InterNachi) Standards of Practice (see, <http://www.nachi.org/sop.htm>). This report is primarily intended to identify major defects within a structure that significantly affect its habitability or that will be costly to repair; however, minor defects and those which might affect the client's day-to-day life in the house may be noted in this report. Cosmetic items such as minor damage to molding, trim, doors, cabinets, interior paint or carpet are generally excluded from this report.

Home inspection reports by nature focus on defects and may seem negative in tone. Some features of this property may be in excellent condition and of high quality but have not been mentioned, or been deemed adequate in the report. This is not meant to downplay this property's assets, but to focus on alerting you to potentially expensive problems. Bear in mind that all homes, regardless of their age, have some number of defects.

Areas of the property that are excluded due to lack of access are vulnerable to infestation and damage from wood destroying insects and organism, which may also health risks.

I pledge to give you a complete and unbiased inspection of the property you are considering buying or selling that will exceed all standards.

Chris Mercer

How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

-  **Safety** Poses a risk of injury or death
-  **Repair/Replace** Recommend repairing or replacing
-  **Repair/Maintain** Recommend repair and/or maintenance
-  **Minor Defect** Correction likely involves only a minor expense
-  **Maintain** Recommend ongoing maintenance
-  **Evaluate** Recommend evaluation by a specialist
-  **Comment** For your information

[Click here](#) for a glossary of building construction terms.

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Exterior

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Footing material: Poured in place concrete

Foundation material: Post and pier

Apparent wall structure: Wood frame

Wall covering: Wood panels

Driveway material: Poured in place concrete

Sidewalk material: Poured in place concrete

Exterior door material: Solid core wood

1)  There are two trip hazards in concrete walkways. One trip hazard was found in the driveway and one in the walkway leading to the rear gate on the west of the house. These are due to settlement and/or heaving. Recommend having a qualified contractor evaluate and repair or replace driveway sections as necessary to eliminate trip hazards.

**Photo
20**



Photo 23

2)  Low voltage wiring and sprinkler water pipe is exposed on the north side of the home. This is a trip hazard. The water pipe should be covered with soil or other suitable ground coverings and the low voltage wiring should be routed through a PVC or metal conduit anchored to the side of the outside wall.

Additionally, the soil has been eroded because there is no gutter. See the exterior section of this report for more on gutters.



Photo 11
Erosion caused by lack of a gutter has exposed the plastic pipe and wires.



Photo 19
Conduit containing low voltage wires should be placed along the side of the house.



Photo 12
Exposed low voltage wiring on west side of house.

3)  The driveway has significant cracks and/or deterioration in one or more areas. A qualified contractor should evaluate and repair or replace driveway sections as necessary.



Photo 21



Photo 22

4)  A 15 foot section of the fence on the west side of the property is deteriorated in some areas. A qualified contractor should evaluate and make repairs or replace sections as necessary.



Photo 33
Rotting at base of fence.



Photo 34
Fence is leaning and needs additional supports to right it.
Also note the line of erosion on the left side of the lawn mower. This is because there is no gutter.

5)   The main control valve that services the water to the front sprinkler system leaks when in the off position. The seals in the valve need to be replaced. This valve is located in the front of the house adjacent to the main water shutoff. Note: the leak is not high enough to cause water pooling, but the moisture level is high enough to attract wood destroying insects.

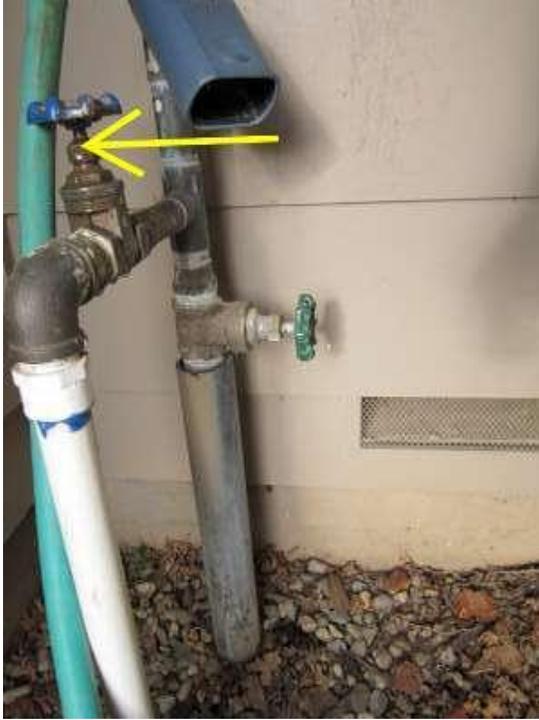


Photo 9

6)  The downspouts on the front of the home need extensions or splash blocks. This can result in water accumulating around the structure's foundation, or in basements and crawl spaces if they exist. Accumulated water is a conducive condition to wood destroying insects and organisms, and may also cause the foundation to settle and possibly fail over time. Repairs should be made as necessary, such as installing or repositioning splash blocks, or installing and/or repairing tie-ins to underground drain lines, so rain water is carried at least several feet away from the structure to soil that slopes down and away from the structure.



Photo 10

Need a splash block to carry water to driveway.



Photo 30

Need a splash block to prevent water from pooling around the foundation and to prevent water from washing away soil and bark.

7)  One or more gutters are missing. This can result in water accumulating around the structure's foundation, or in basements and crawl spaces if they exist. On the west side of the house where there is no concrete a significant amount of erosion has been caused because there is no gutter. Additionally, accumulated water is a conducive condition to wood destroying insects and organisms, and may also cause the foundation to settle and possibly fail over time. A qualified contractor should install gutters and downspouts where missing. Also, extensions such as splash blocks or tie-ins to underground drain lines should be installed as necessary to carry rain water away from the house.



Photo 31
Gutters needed on both east and west side of house.



Photo 32
Gutters needed on back of house.

8)  One or more soffit vent screens are missing and/or deteriorated. Birds and vermin may enter the attic because of this. Screens should be replaced or repaired where necessary, or installed where missing.



Photo 15



Photo 16



Photo 17



Photo 18

9) 🪛 Vegetation such as trees, shrubs and/or vines are in contact with or less than one foot from the structure's exterior. Vegetation can serve as a conduit for wood destroying insects and may retain moisture against the exterior after it rains. Vegetation should be pruned and/or removed as necessary to maintain a one foot clearance between it and the structure's exterior.

10) ⓘ One or more sections of foundation and/or exterior walls are excluded from this inspection due to lack of access from vegetation, debris and/or stored items.

11) ⓘ Location of main fuel shutoff valve. West side of house (see photo below)



Photo 13

Roof

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Roof inspection method: Traversed

Roof type: Cross gable

Roof covering: Asphalt or fiberglass composition shingles

Estimated age of roof: 3 to 5 years

Gutter & downspout material: Aluminum

Roof ventilation: Adequate

12)    A weathervane has been mounted using one of the vent stacks on the northeast section of the roof. Vent stacks are used to prevent harmful sewer gasses from entering the home through plumbing drains. The weathervane needs to be removed.



Photo 6

13)  Debris has accumulated in one or more gutters. This is a conducive condition for wood destroying insects since gutters may overflow and cause water to come in contact with the structure's exterior or make water accumulate around the foundation. Gutters should be cleaned now and as necessary in the future.

14)  Debris such as leaves, needles, seeds, etc. have accumulated on the roof. This is a conducive condition for wood destroying insects and organisms since water may not flow easily off the roof, and may enter gaps in the roof surface. Leaks may occur as a result. Debris should be cleaned from the roof now and as necessary in the future.



Photo 5

15)  Moss is growing on the roof in the area above the front entrance way. As a result, shingles may lift or be damaged. Leaks may result and/or the roof surface may fail prematurely. This is a conducive condition for wood destroying insects and organisms. Efforts should be taken to kill the moss during its growing season (wet months). Typically zinc-based chemicals are used for this, and must be applied periodically. For information on various moss treatment products and their pros and cons, visit:

<http://www.google.com/search?q=moss+on+roof>



Photo 8

This is the only area where there is a significant amount of moss growing. It is directly above the entry way.

16) 🗝️ Trees are overhanging roof and are within 10 feet of roof vertically. This is a conducive condition for wood destroying insects and organisms since organic debris such as leaves or needles are more likely to accumulate on the roof surface. Accumulated debris may cause water to enter gaps in the roof surface and leak into attic and/or interior spaces. Trees should be pruned so they are at least 10 feet above roof, or don't overhang the roof.



Photo 31
Gutters needed on both east and west side of house.



Photo 32
Gutters needed on back of house.

17) ⓘ The roof was partially obscured by accumulated debris and couldn't be fully evaluated.



Photo 5

18) **i** Much of the garage, including areas around the interior perimeter and in the center are excluded from this inspection due to lack of access from stored items.

19) **i** No issues with the portions of the garage walls that were able to be inspected. All other features, including the rear door, electrical system, and garage door opener and door assembly functioned normally.

Inspection method: Partially traversed

Roof structure type: Rafters

Ceiling structure: Ceiling beams

Insulation material: Mineral wool loose fill

Insulation depth: 14 inches

Insulation estimated R value: 50

20) **+ 🔧 🔍** Wire splices near the attic hatch are exposed due to not being contained in a covered junction box. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and make repairs as necessary. For example, install securely mounted junction boxes with cover plates where needed to contain wiring splices.



Photo 24

Near the entrance hatch. Needs to be in a junction box.

21) **i** Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection.

Electric service

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Primary service type: Overhead

Primary service overload protection type: Circuit breakers

Service amperage (amps): 200

Service voltage (volts): 120/240

Location of main service switch: Front of house (garage side)

Location of main disconnect: Breaker at top of main service panel

Service entrance conductor material: Copper

System ground: Copper

Main disconnect rating (amps): 200

Branch circuit wiring type: Copper

Solid strand aluminum branch circuit wiring present: No

Smoke detectors present: No

22)   The service drop wires are in contact with trees or vegetation. Recommend having a qualified tree service company or arborist prune or remove trees as necessary to prevent straining or abrading the service drop wires.



Photo 7

23)  Main electrical service panel. Photo reference. No issues.



Photo 28
Correctly wired. No issues.

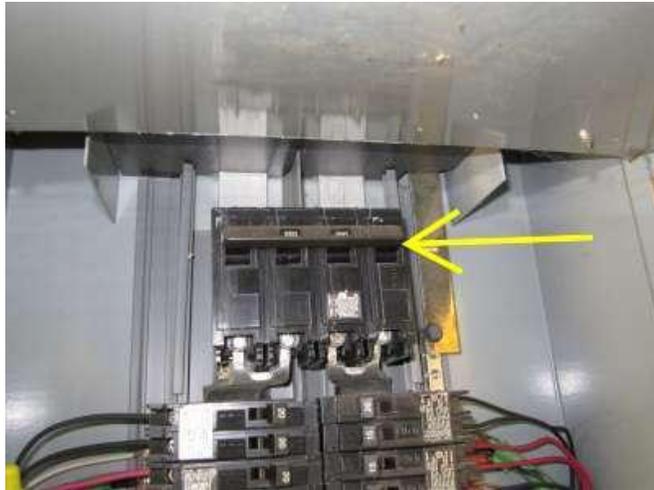


Photo 29
Arrow shows main breaker at top of panel.

Water heater

Type: Tank

Energy source: Natural gas

Capacity (in gallons): 50

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24) 🚨👉 The hot water temperature is greater than 120 degrees Fahrenheit. This is a safety hazard due to the risk of scalding. The thermostat should be adjusted so the water temperature doesn't exceed 120 degrees. For more information on scalding dangers, visit:

<http://www.cpsc.gov/cpsc/pub/pubs/5098.html>

Heating and cooling

Estimated age: Maximum of 9 years: furnace manufactured in 3/2003, and A/C compressor in 12/2003

Primary heating system energy source: Natural gas

Primary heat system type: Forced air, Horizontal draft, Medium efficiency, 80% AFUE

Primary A/C energy source: Electric

Primary Air conditioning type: Split system

Distribution system: Flexible ducts

Manufacturer: Goodman

Model: GMT090-4A

Filter location: In return air duct below furnace

Last service date: Not tagged, but the inspector noted that the interior of furnace was clean

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25) **i** The outdoor air temperature was below 60 degrees Fahrenheit during the inspection. Because of this, the inspector was unable to fully evaluate the cooling system. However, the A/C system did respond to controls and appeared to operate normally.

26) **i** Operating temperature at register tested at 118 degrees F. This is normal.

Plumbing and laundry

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Location of main water shut-off valve: Front of house

Location of main fuel shut-off: West side of house

Water service: Public

Service pipe material: Not visible

Supply pipe material: Copper

Vent pipe material: Galvanized steel

Drain pipe material: Galvanized steel, Cast iron

Waste pipe material: Cast iron

27) **+i** Copper water supply pipes in homes built prior to 1986 may be joined with solder that contains lead. Lead is a known health hazard, especially for children. Laws were passed in 1985 prohibiting the use of lead in solder, but prior to that solder normally contained about 50 percent lead. The client(s) should be aware of this, especially if children will be living in this structure. Evaluating for the presence of lead in this structure is not included in this inspection. The client(s) should consider having a qualified lab test for lead, and if necessary take steps to reduce or remove lead from the water supply. Various solutions such as these may be advised:

- Flush water taps or faucets. Do not drink water that has been sitting in the plumbing lines for more than six hours.
- Install appropriate filters at points of use.
- Use only cold water for cooking and drinking. Hot water dissolves lead more quickly than cold water.
- Use bottled or distilled water.
- Treat well water to make it less corrosive.
- Have a qualified plumbing contractor replace supply pipes and/or plumbing components as necessary.

For more information visit:

<http://www.cpsc.gov/CPSCPUB/PUBS/5056.html>

<http://www.epa.gov/safewater/lead/index.html>

28) **i** Neither the clothes washer nor dryer were operated or evaluated. They are excluded from this inspection.

Fireplaces, woodstoves and chimneys

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Fireplace type: Masonry

Woodstove type: Metal insert, Quadra Fire brand pellet stove

Chimney type: Masonry

29)    A significant amount of creosote (1/8 inch or more) is visible in the fireplace flue. A qualified chimney service contractor should inspect, clean, and repair if necessary now and annually if used regularly.

30)   The off/on switch for the pellet stove is not securely mounted. In this condition the control wires are susceptible to abrasion and tension. The switch should be mounted to a sturdy structure.



Photo 26

31)  The gas supply for the gas fireplaces was turned off and there is no visible operable valve to turn it on. The valve may have been covered up during the last remodel. Suggest consulting with the current owner about the present whereabouts of the valve.



Photo 27

Crawl space

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Inspection method: Partially traversed

Insulation material underneath floor above: None visible

Pier or support post material: Bearing wall, Concrete

Beam material: Solid wood

Floor structure above: Solid wood joists

Vapor barrier present: No, but not necessary in this type of climate

32)  One of the crawlspace vent screens at the rear of the house has a hole in it. Soffit screen are meant to prevent the entrance of rodents, pets, and vermin from entering the crawlspace. The hole is large enough to allow the entrance of rodents.



Photo 14

Kitchen

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33)  One or more kitchen appliances appear to be near, at, or beyond their intended service life of 10 to 15 years. Recommend budgeting for replacements as necessary.

**With this said the stove and oven are considered vintage age appliances and appear to be in excellent condition. These appliances may have received extensive servicing and/or refurbishing. I advise that if client replaces these that the resale value not be overlooked.

Bathrooms

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34)   Central/ north bathroom: One or the electric receptacles that serve the countertop surface within six feet of a sink appears to have no ground fault circuit interrupter (GFCI) protection. This is the outlet to the right of the sink. This is a safety hazard due to the risk of shock. A qualified electrician should repairs so that all receptacles that serve countertop surfaces

within six feet of sinks have GFCI protection. For example, install GFCI receptacles or circuit breaker(s) as needed.



Photo 1

35)  Central/ north bathroom: One or more cabinets and/or drawers are damaged and/or deteriorated. A qualified contractor should evaluate and repair or replace cabinets and/or components as necessary.



Photo 2
Hinges or not aligned.



Photo 3
Magnetic retainers are deteriorated and will not hold doors shut.

36)    One open ground, three-pronged electric receptacles were found in the northwest bedroom. Other receptacles in this room may be in this same condition, but the inspector was unable to evaluate due to the presence of heavy furniture.

This is a safety hazard due to the risk of shock. A qualified electrician should evaluate and make repairs as necessary. For example, replacing receptacles or correcting wiring circuits.

Grounding type receptacles began being required in residential structures during the 1960s. Based on the age of this structure and the presence of 2-pronged receptacles in some areas of this structure, an acceptable repair may be to simply replace the ungrounded 3-pronged receptacles with 2-pronged receptacles. However the following appliances require grounding type receptacles:

- Computer hardware
- Refrigerators
- Freezers
- Air conditioners
- Clothes washers
- Clothes dryers
- Dishwashers
- Kitchen food waste disposers
- Information technology equipment
- Sump pumps
- Electrical aquarium equipment
- Hand-held motor-operated tools
- Stationary and fixed motor-operated tools
- Light industrial motor-operated tools
- Hedge clippers
- Lawn mowers

This list is not exhaustive. Grounded circuits and receptacles should be installed in locations where such appliances will be used.



This open ground is located on the east wall of the NW bedroom. Other receptacles in this room could not be evaluated due to heavy furniture.

Photo 4

37)  Wood flooring is worn at the entrance to the hallway leading to the west side of the house. Recommend having a qualified contractor evaluate and refinish wood flooring as necessary.



Photo 25

General information

Report number: 1019

Inspector's name: Chris Mercer

Structures inspected: House and semi-attached garage (no interior entrance door)

Type of building: Single family

Age of building: 50

Time started: 8:30 am

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Time finished: 11:00 am

Inspection Fee: 225.00

Payment method: Check

Present during inspection: Client, Realtor

Occupied: Yes

Weather conditions: Clear

Temperature: Cool

Ground condition: Dry

Front of structure faces: South

Main entrance faces: South

Foundation type: Crawlspace, Post and pier

The following items are excluded from this inspection: Security system and the low voltage outdoor lighting

38)  Many wall, floor and/or ceiling surfaces were obscured by large amounts of furniture and/or stored items. Many areas couldn't be evaluated.

Please direct any questions or concerns about this report to Chris Mercer @ 916-588-6619